

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD MAWRTH, 5ED MEDI, 2017

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

Rhif ar yr
Agenda Eitem

- a) **S/34537 - ADEILADU 8 O DAI YNGHYD Â'R MYNEDIADAU CYSYLLTIOL AR GYFER CERBYDAU A CHERDDWYR, LLEOEDD PARCIO, TIRWEDDU, DRAENIAU A DATBLYGU ATEGOL ARALL TIR AR OCHR DDWYREINIOL HEOL BRONALLT, YR HENDY, LLANELLI. (Tudalennau 5 - 26)**
- b) **S/34071 - CANOLFAN PROESU GWASTRAFF ANADWEITHIOL YN HEN LOFA MORLAIS, HEOL PONTARDDULAIS, LLANGENNECH, LLANELLI, SA14 8YN (Tudalennau 27 - 50)**
- c) **S/35403 - CAIS AMLINELLOL AM DDATBLYGIAD PRESWYL AR DIR GER 32 TERAS YR ERW, PORTH TYWYN, LLANELLI, SIR GAERFYRDDIN, SA16 ODA (Tudalennau 51 - 64)**
- d) **W/35554 - SGWÂR CYHOEDDUS NEWYDD, CAFFI AC UNEDAU BUSNES BACH YN Y MAN CYHOEDDUS PRESENNOL, SGWÂR LŌN JACKSON, CAERFYRDDIN, SA31 1QD (Tudalennau 65 - 108)**

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol

ADDENDUM – Area South

<i>Application Number</i>	S/34537
<i>Proposal & Location</i>	CONSTRUCTION OF 8 HOUSES TOGETHER WITH ASSOCIATED VEHICULAR AND PEDESTRIAN ACCESSES, CAR PARKING, LANDSCAPING, DRAINAGE AND OTHER ANCILLARY DEVELOPMENT AT LAND ON EASTERN SIDE OF, HEOL BRONALLT, HENDY, LLANELLI

DETAILS:

CONSULTATIONS

Neighbours/Public

Further letters of objection have been received from neighbouring residents which raise the following concerns regarding the proposal :

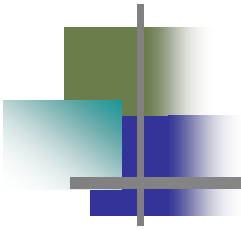
- Highway constraints along Bronallt Road.
- Surface water and drainage problems.
- The developer should provide a footway link to the neighbouring park.
- The need for a contribution to improve the neighbouring park.
- Presence of underground abandoned air shafts and mine workings within the site and the impact upon surface water drainage.

The issues raised by the respondents regarding the highway and drainage impacts of the development have been addressed in the main report. Similarly, concerns regarding the stability of the site and the presence of mineshafts have also been addressed.

Members will note from the main report that the development incorporates a footpath link to the neighbouring park while the Authority's Parks Manager has not requested a contribution towards the improvement of this facility.

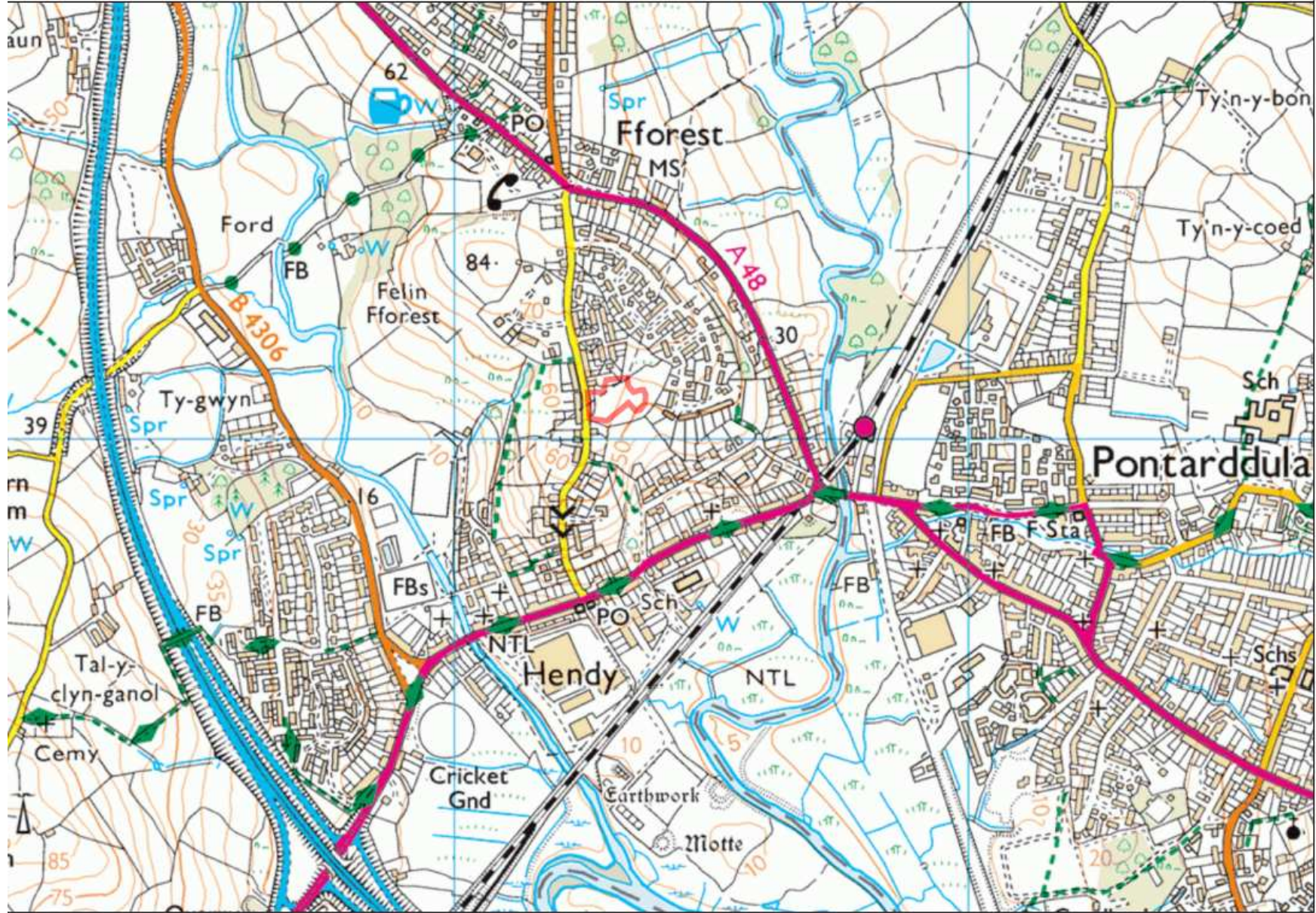
The recommendation to approve remains unchanged subject to the imposition of the conditions contained in the main report.

Mae'r dudalen hon yn wag yn fwriadol

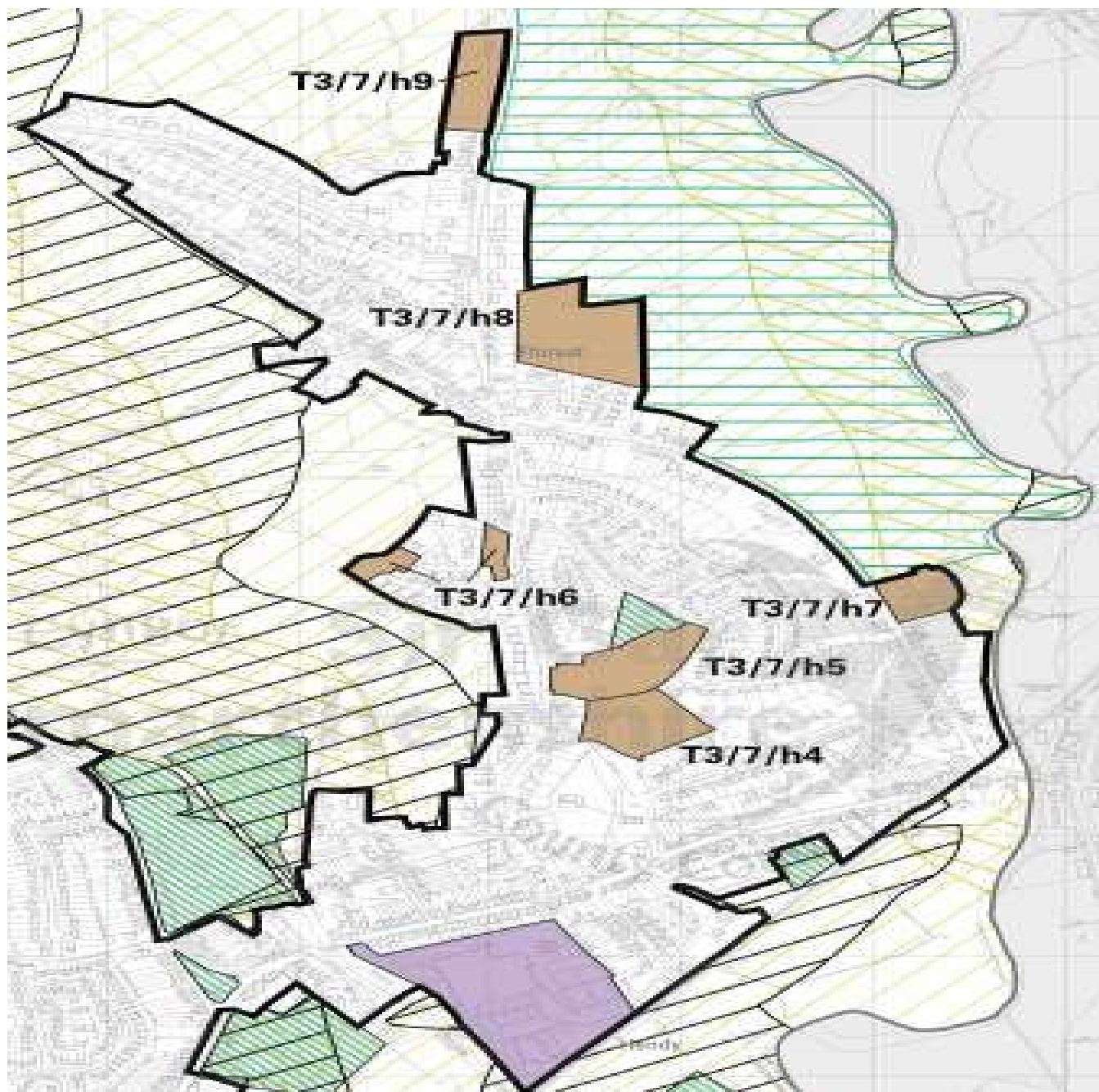


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S/34537



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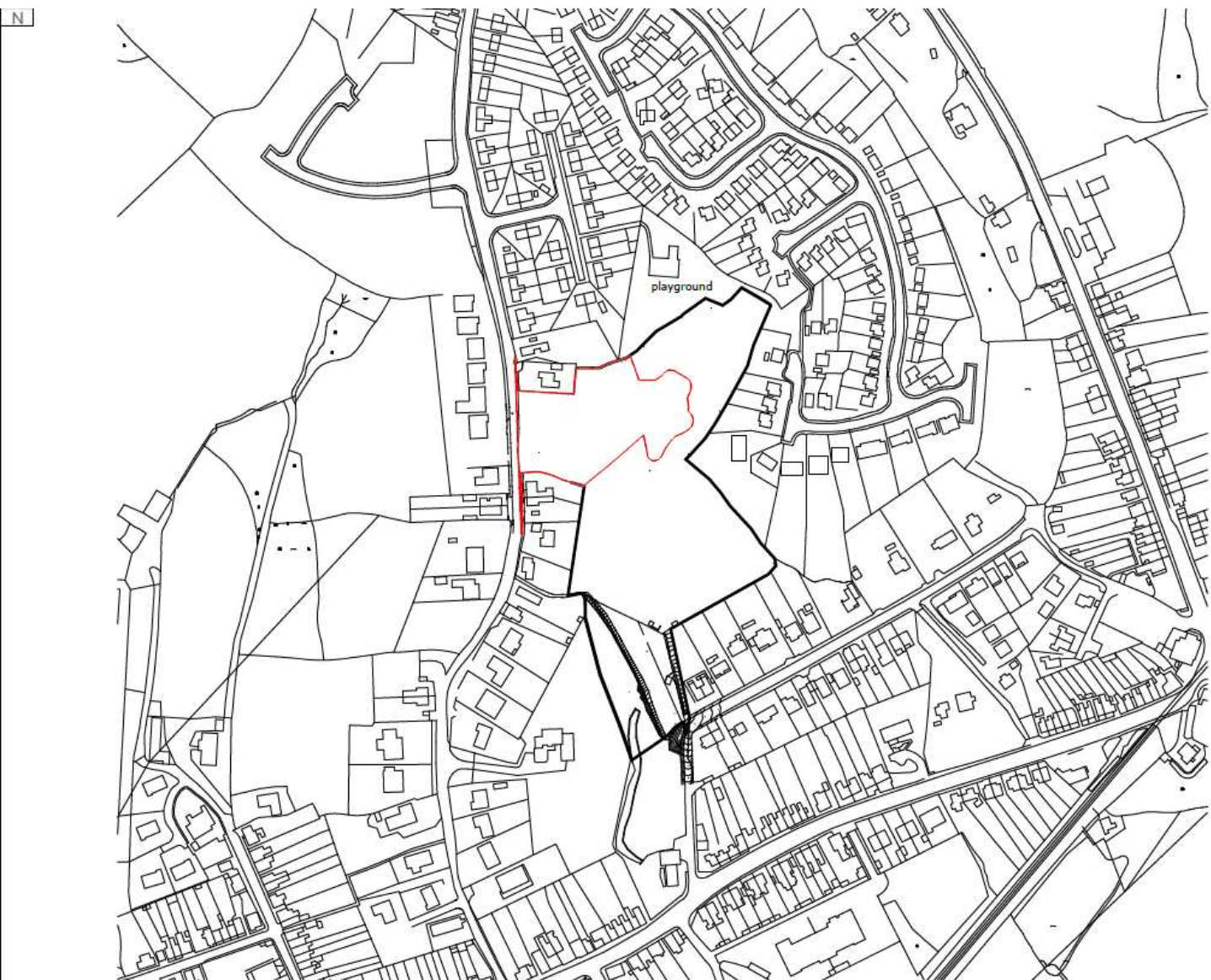


Tudalen 10

S/34537



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S/34537



S/34537



S/34537

Bronallt Road Street Scene



Bronallt Road Street Scene



S/34537



Greenway Homes Developments Ltd
Cambrian Complex,
Ystrad Road,
Forestfach,
Swansea.
SA5 4HJ

Job Title:
Proposed new housing development
land East of Bronallt Road,
Hendy,
Carmarthenshire,
SA4 0UD

Drawing Title:

Street Scenes

Drawing No. SS2 Rev. 1.0

S/34537



Plot 4, 5 & 6 Street Scene

Greenway Homes Developments Ltd
Cambrian Complex,
Ystrad Road,
Fforestfach,
Swansea.
SA5 4HJ

Job Title:
Proposed new housing development
land East of Bronallt Road,
Hendy,
Carmarthenshire,
SA4 0UD

Drawing Title:
Street Scenes
Drawing No. SS4 Rev. 1.0

S/34537



Site Overview



Site Overview



S/34537



S/34537



S/34537



S/34537



S/34537



S/34537



S/34537

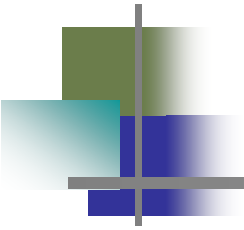


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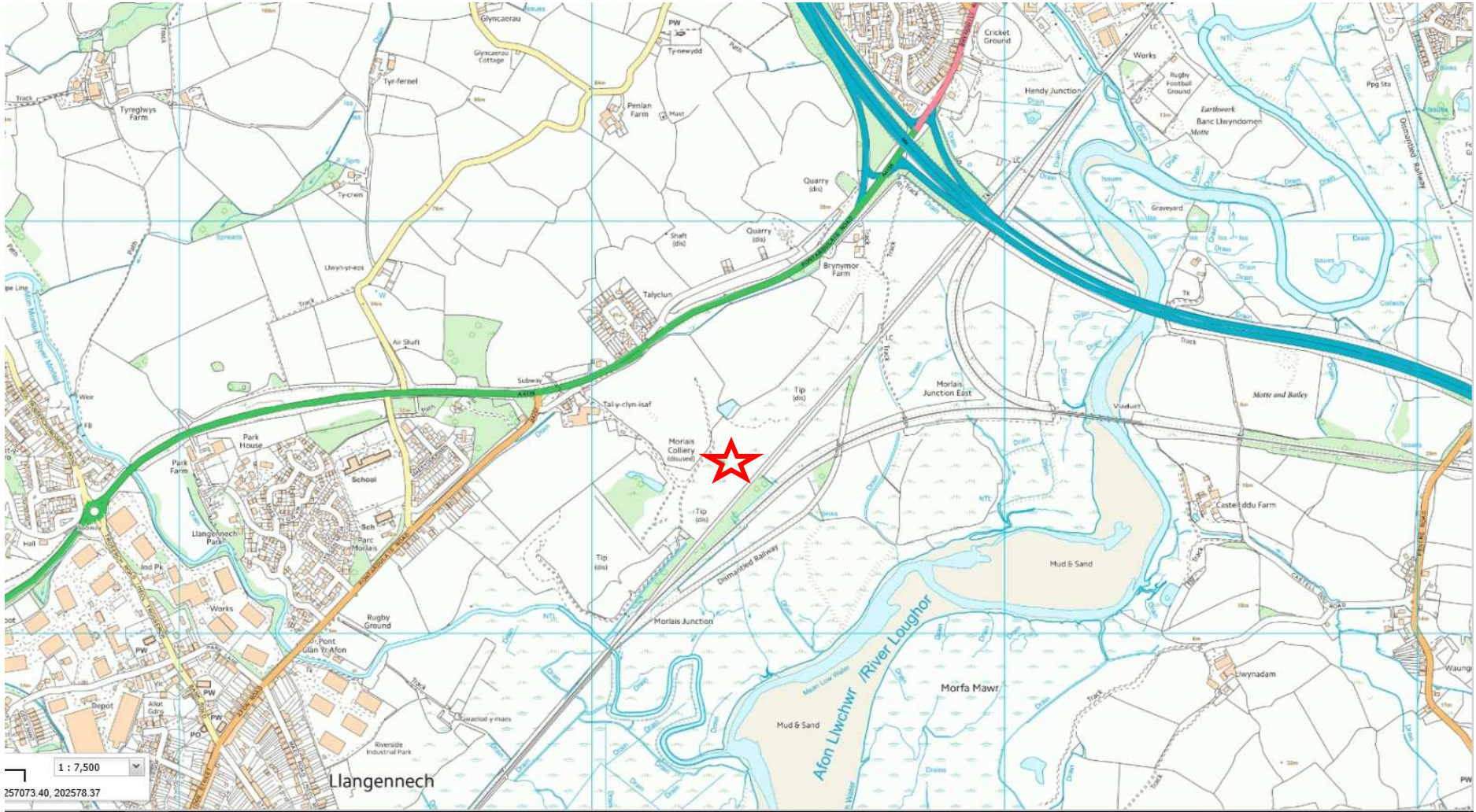
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S/34071

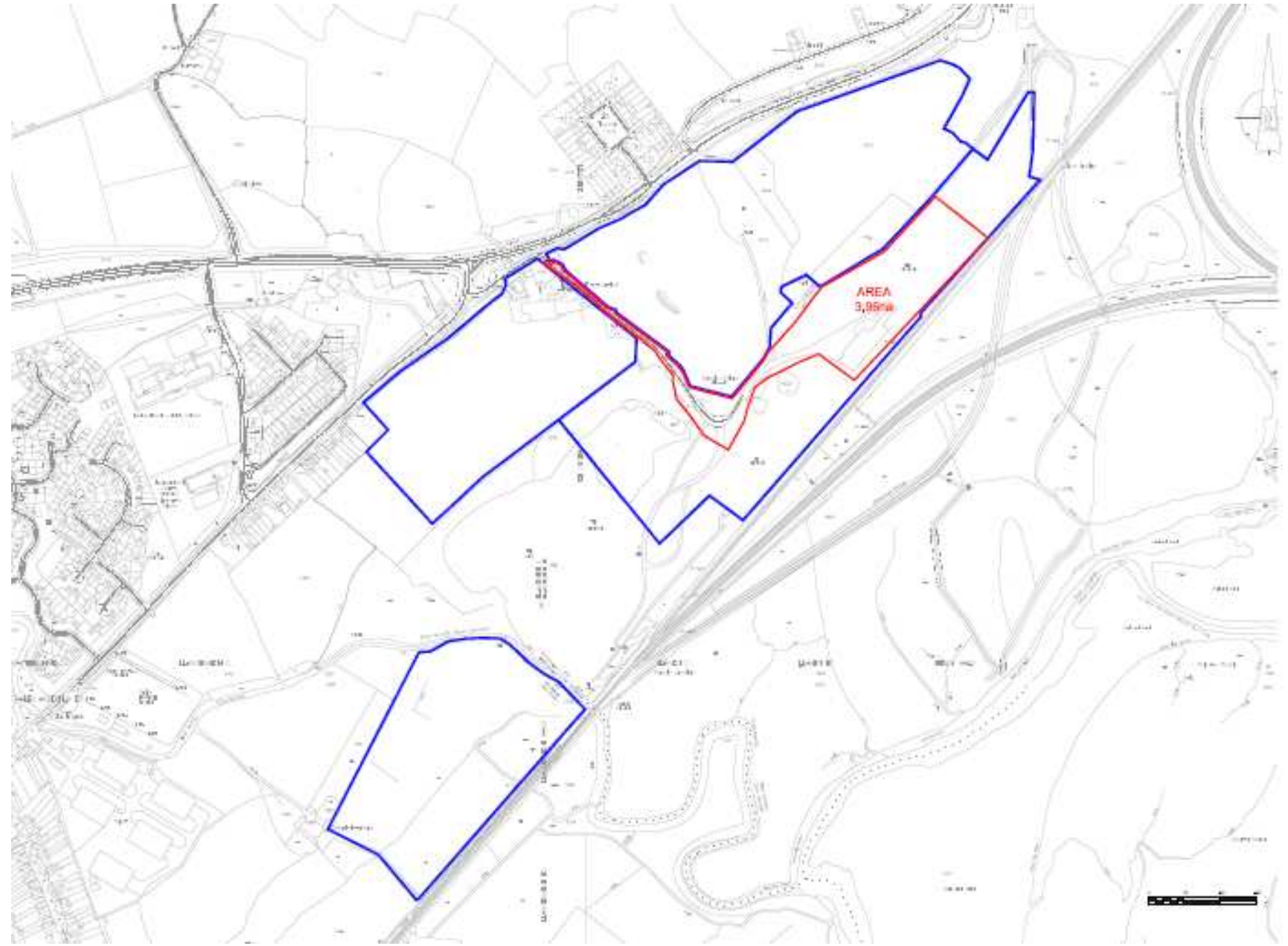
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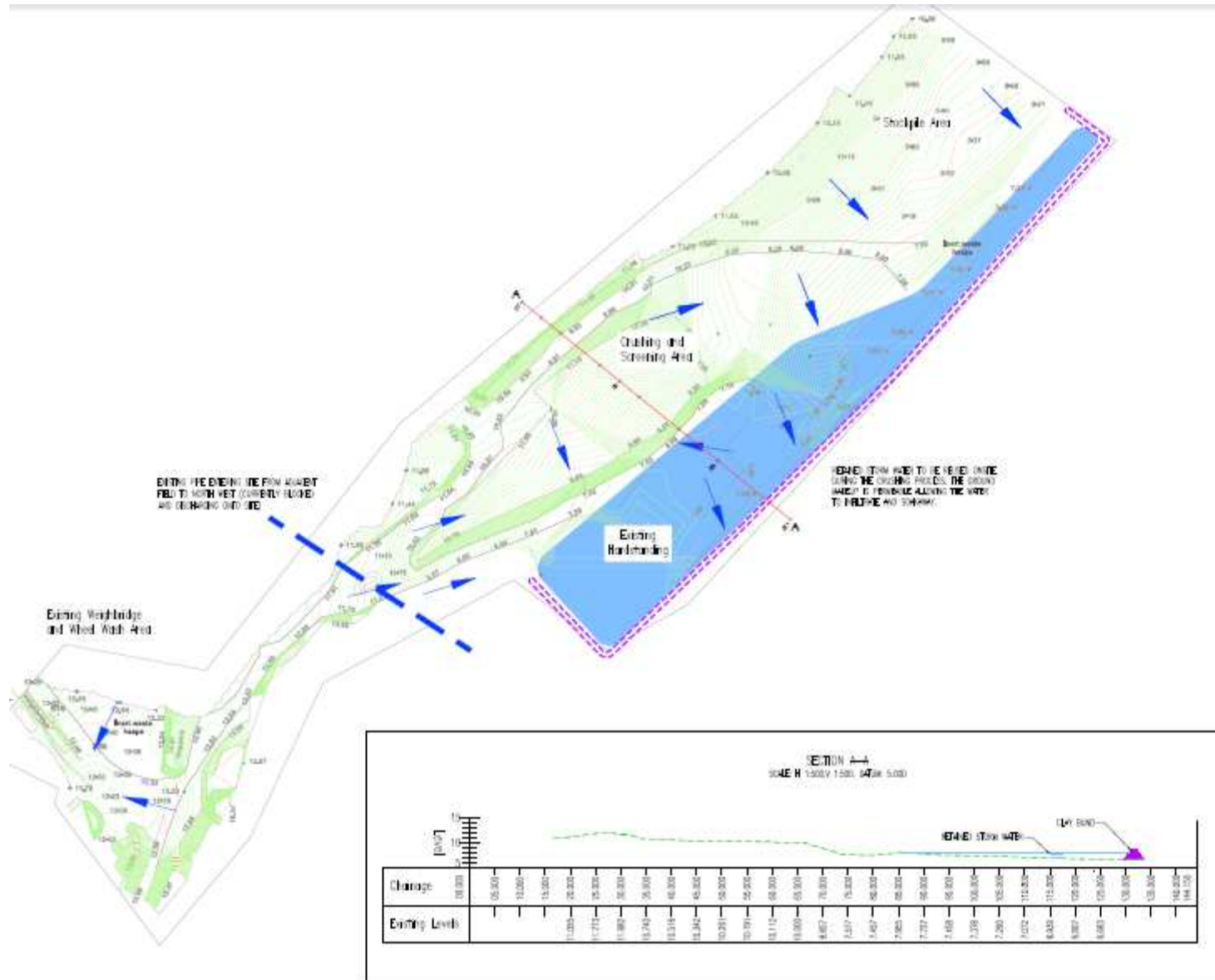
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S/34071



1. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE
2. ALL LEVELS ARE IN METRES UNLESS NOTED OTHERWISE
3. ALL LEVELS REFER TO DRAINAGE DATUM UNLESS NOTED OTHERWISE
4. DO NOT SCALE FROM THE DRAWING UNLESS REQUIRED OTHERWISE
5. ALL DIMENSIONS TO BE REPORTED SHOWN TO THE DIMENSION
6. THE DRAWING TO BE REVIEWED IN CONJUNCTION WITH ALL RELEVANT AGREEMENTS, SUBCONTRACTS AND SPECIFICATIONS AND SPECIFICATIONS
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LEGEND

- OVERLAND FLOW DIRECTION
- AREA OF POSSIBLE FLOODING FROM WATER
- 10% IN CLAY BOND

REV.	DESCRIPTION	BY	DATE
01			

intrado **robbs**
Consulting Engineers

Staff
JCR PLANNING

Project
FORMER MORLAIS COLLIERY, LLANGENNECH

As Issued
PROPOSED SITE LAYOUT PLAN

Client
CILC

Contract No.
10002842

Date
APR 2016

Subsidiary Title
IR16070

Job No.
001

Rev.
B

S/34071



EXISTING HEDGEROW ALONG NORTH-WESTERN BOUNDARY OF SITE REQUIRES JUDICIOUS MANAGEMENT AND RENOVATION INCLUDING "GAPPING-UP", COPPING, LAYING AND DEAD WOOD REMOVAL.

DOMINANT SPECIES - CRATAEGUS MONOGYMA

**NATIVE HEDGEROW GAPPING UP
- DOUBLE STAGGERED ROW**

PLANTS OF NATIVE SPECIES SHOULD BE SMALL BUSHY HEDGING TRANSPLANTS (450MM - 800MM) PLANTED 250MM APART - AND IN A DOUBLE-STAGGERED ROW - 300MM APART (APPROX. 9 NO PLANTS PER METRE)

PLANTS TO BE NOTCH PLANTED INTO EXISTING GROUND AND WATERED

MULCH THE BASE OF THE HEDGE AFTER PLANTING TO RETAIN MOISTURE AND REDUCE WEED COMPETITION.

PROTECT FROM STOCK WITH FENCING.

ALLOW TO GROW FOR MIN 3 YEARS BEFORE STAGED LAYING

HEDGEROW MIX

CRATAEGUS MONOGYMA (HAWTHORN) TRANSPLANT	85%	BR	1+2,
CORYLUS AVELLANA (HAZEL) 2 . BRANCHED, 4 BREAKS	10%	BR	1 +
ILEX AQUIFOLIUM (HOLLY) LEADER WITH LATERALS	2%	3L	
DOG ROSE (ROSA CANINA) 1, 60 - 80 CM, 3 BREAKS	3%	BR	1 +

HEDGEROW REJUVENATION
LAND AT FORMER MORLAIS COLLIERY,
LLANGENNECH
SCALE 1:200 @ A3
DRAWING NO GEN/JG/18/06/125 JULY 2018



S/34071



Tudalen 33

Tudalen 34

S/34071



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S/34071



S/34071



Tudalen 37

Tudalen 38

S/34071



S/34071



Tudalen 39

2016. 7. 7 13:14

Tudalen 40

S/34071



S/34071



Tudalen 41

Tudalen 42

S/34071



S/34071



Tudalen 43

Tudalen 44

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S/34071



Tudalen 45

Tudalen 46

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S/34071



S/34071



Tudalen 50

S/34071



ADDENDUM – Area South

<i>Application Number</i>	S/35403
<i>Proposal & Location</i>	OUTLINE APPLICATION FOR RESIDENTIAL DEVELOPMENT AT LAND ADJACENT TO, 32 ERW TERRACE, BURRY PORT, LLANELLI, CARMARTHENSHIRE, SA16 0DA

DETAILS:

CONSULTATIONS

Local Member – County Councillor A Fox has advised that she along with County Councillor J James have met with residents of Erw Terrace and Penybryn Avenue to discuss their concerns and objections.

Councillor A Fox fully supports their objections as this area is the parking area for the residents who live in both streets. The parking is a major issue on both roads leading to the application site. Emergency vehicles would have great difficulty accessing the area. The land needs to stay as parking for the community.

Pembrey and Burry Port Town Council – Object on the basis that this site has been used for parking for the last 50 years.

Mae'r dudalen hon yn wag yn fwriadol



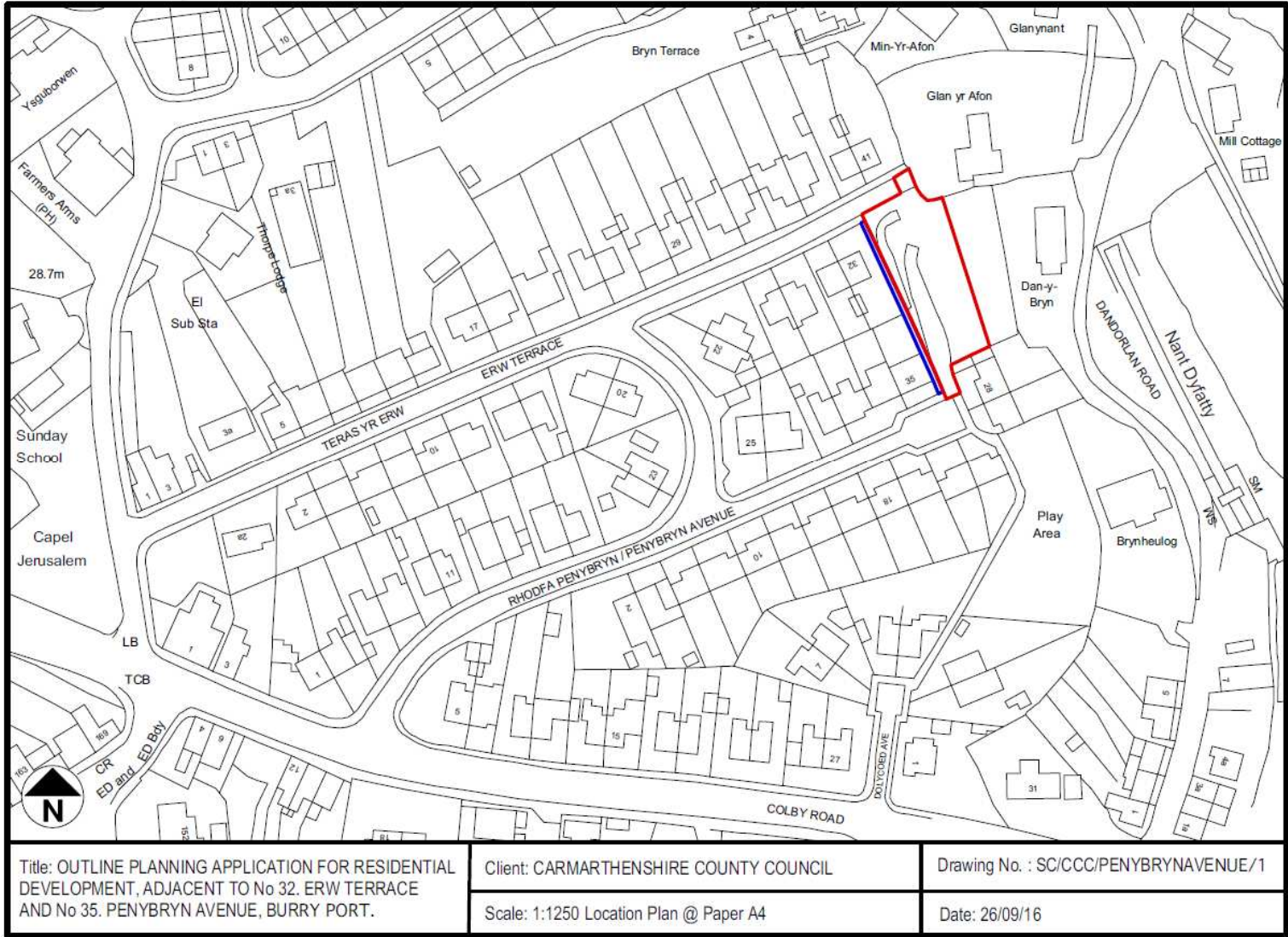
S/35403

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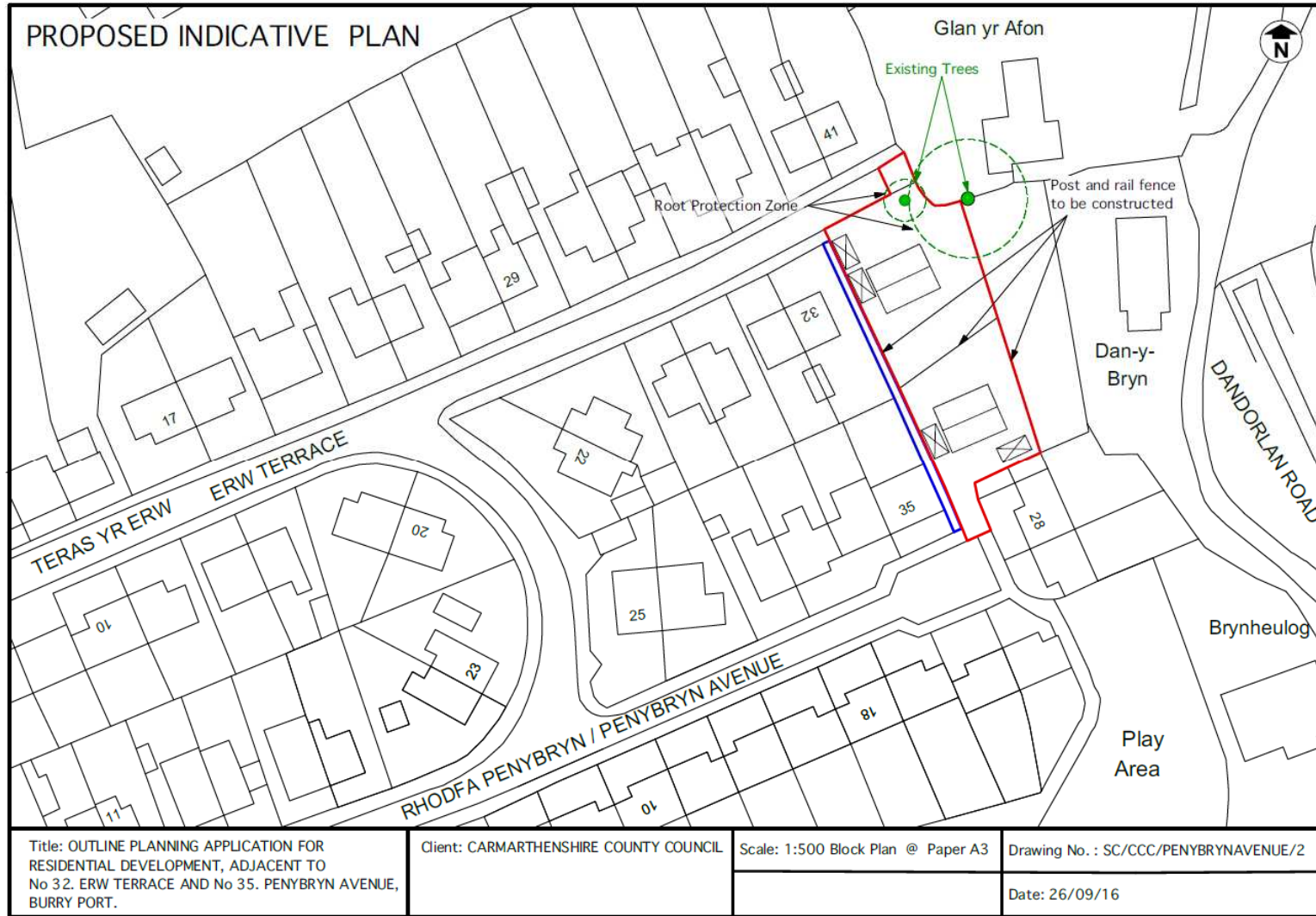


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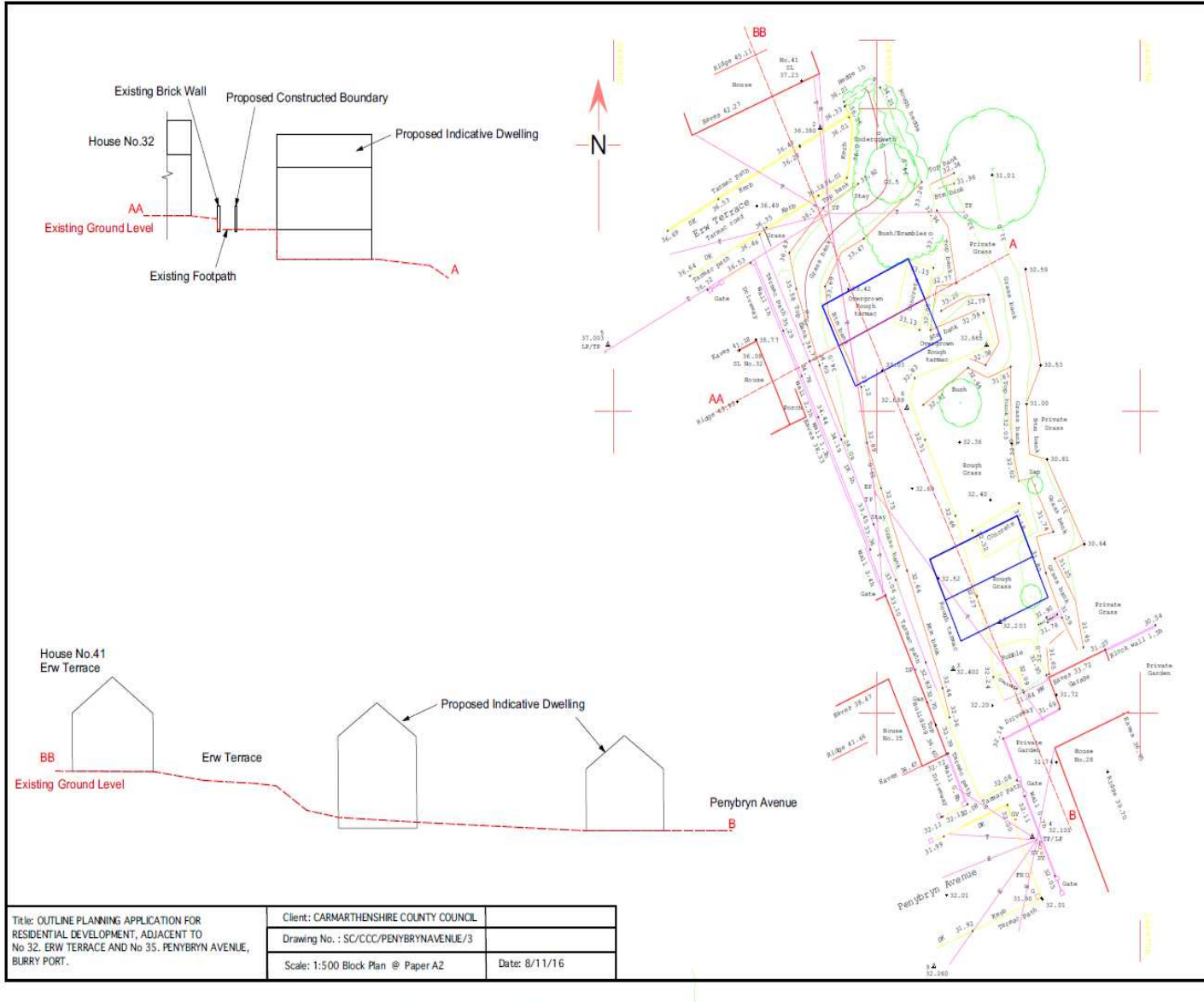
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S/35403



Tudalen 60

S/35403



S/35403



Tudalen 62

S/35403



S/35403



Tudalen 64

S/35403



ADDENDUM – Area West

<i>Application Number</i>	W/35554
<i>Proposal & Location</i>	NEW PUBLIC SQUARE, CAFÉ AND SMALL BUSINESS UNITS TO EXISTING PUBLIC REALM AT JACKSONS LANE SQUARE, CARMARTHEN, SA31 1QD

DETAILS:

Local Member - Cllr Gareth John, Carmarthen Town South has made the following comments:

Based on various formal and informal consultation exercises undertaken over a number of years, together with the views expressed during the current statutory process, I am firmly of the opinion that an overwhelming majority of people recognise and support the fundamental aim of the proposed scheme (namely providing an effective link between the thriving new shopping centre and the struggling older quarter especially King Street).

Likewise residents and traders alike readily accept that there is an urgent need to increase footfall to and along King Street to ensure a more favourable trading environment.

Having studied the application, taken on board the views of those who have over recent months publicly commented both for and against the proposals and the submitted objections I have concluded, that on balance, I am in agreement with the main elements of the submitted scheme.

That said, I totally respect and understand the concerns expressed and in several cases agree. I would therefore respectfully suggest that committee give the following particular consideration.

- 1) I would be totally opposed to the disappearance of the areas of green space at the bottom of Jacksons Lane. The disappearance of the last grassed area in the town centre has been the subject of a great deal of debate somewhat needlessly in my opinion as the submitted plans clearly show the retention of grassed areas of land. Committee may wish to reassure people that this is indeed the case
- 2) I feel that comments made in respect of the unsuitability of the chosen stone work finish are very valid. Given the scheme's aim of joining the new with the old I agree that it would be far more appropriate to use local stone-work. The same could be said about the lighting furniture.
- 3) I would suggest that Committee impose operational conditions to mitigate any risk of potential noise nuisance impacting upon residents in the close vicinity

Welsh Water – have responded raising no objection to the proposal based on the amended details provided.

Neighbours/Public – 2 further responses to the application have been received. These raise matters already referred to in the recommendation concerning namely accessibility, removal of trees, disturbance from/need for the proposed screen and there being sufficient cafes already in the town centre. There were also comments regarding the images portraying the scheme in the 2016 consultation.

Mae'r dudalen hon yn wag yn fwriadol



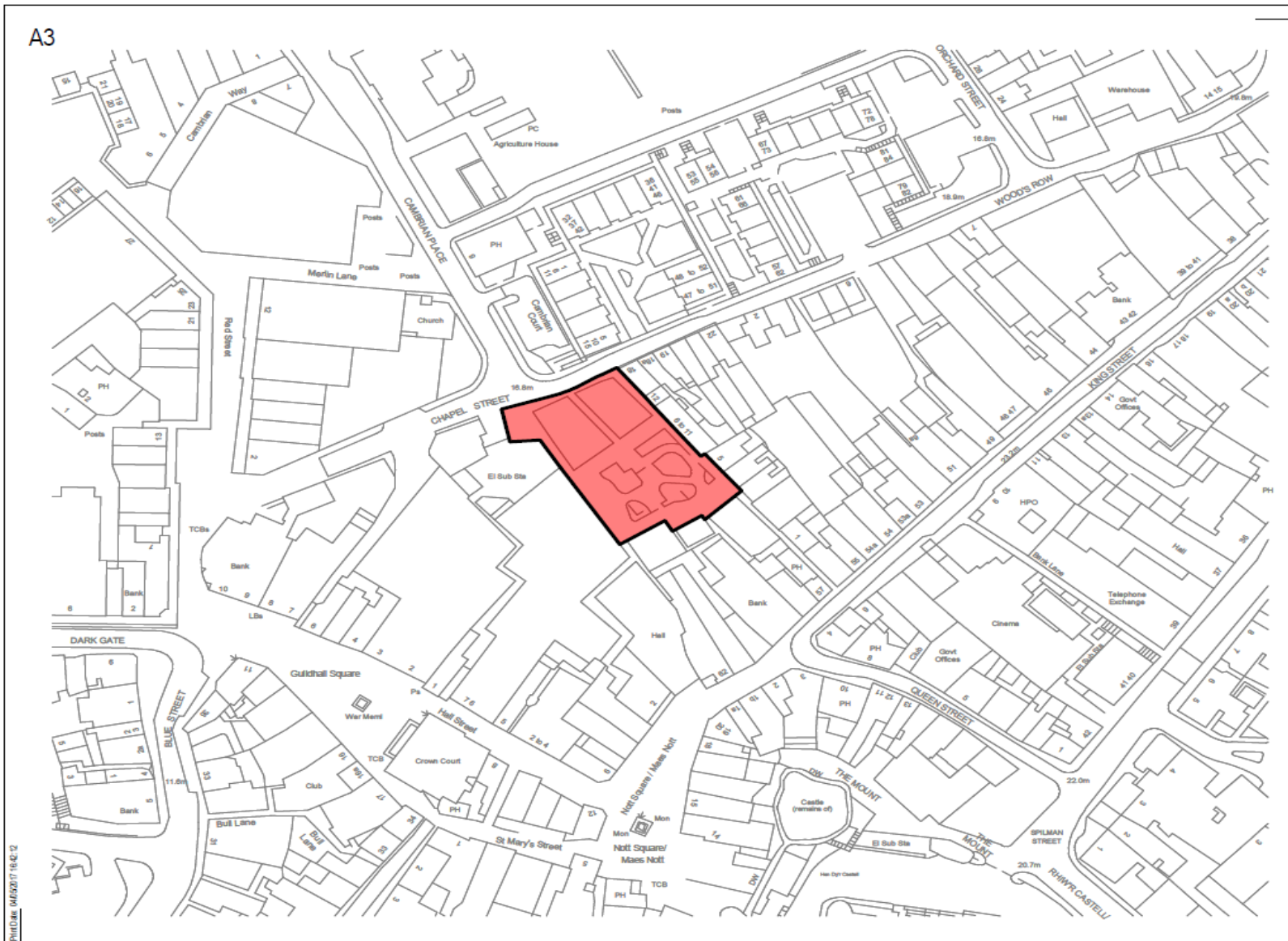
W/35554

Tudalen 68

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W/35554



LEGEND & FINISHES SCHEDULE	
	207 spm - Marshall conventional concrete paving 400x400x50mm laid level natural
	27 spm - Marshall heat and wearing concrete paving 400x400x50mm laid level natural
	400 spm - Marshall natural granite paving 300x300mm (thickness 30) Lattice fine picked finish
	27 spm - Marshall natural granite faced wearing paving 400x400mm (thickness 30) Lattice fine picked finish
	125 spm - Marshall granite step out to pattern, varying thickness - Lattice fine picked finish
	5 spm - Marshall natural granite tree surrounds cut to pattern, thickness as paving - fine picked flamed finish
	200 spm - Terrace to match existing
	00 spm - Grass
	Building lines to be removed, refer to J21-CAP-61-133-DR-V-020001 for location
	Boundary line
	Relocation of Memorial Benches
	Temporary timber kerbing

Rev/ Description By/Checked/Approved Date
 S2



Client:
 Carmarthen Council
 Project:
 Jackson Square

Drawing:
 Proposed Site Plan

W/35554



W/35554



35.56 x 21.33 in

W/35554



Tudalen 73

Tudalen 74

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1.33 in

W/35554



Tudalen 75

35.56 x 21.33 in

Tudalen 76

W/35554



35.56 x 21.33 in

W/35554



Tudalen 77

Tudalen 78

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Tudalen 80

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Tudalen 81

W/35554



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Tudalen 83

Tudalen 84

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W/35554



Tudalen 86

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W/35554



Tudalen 92

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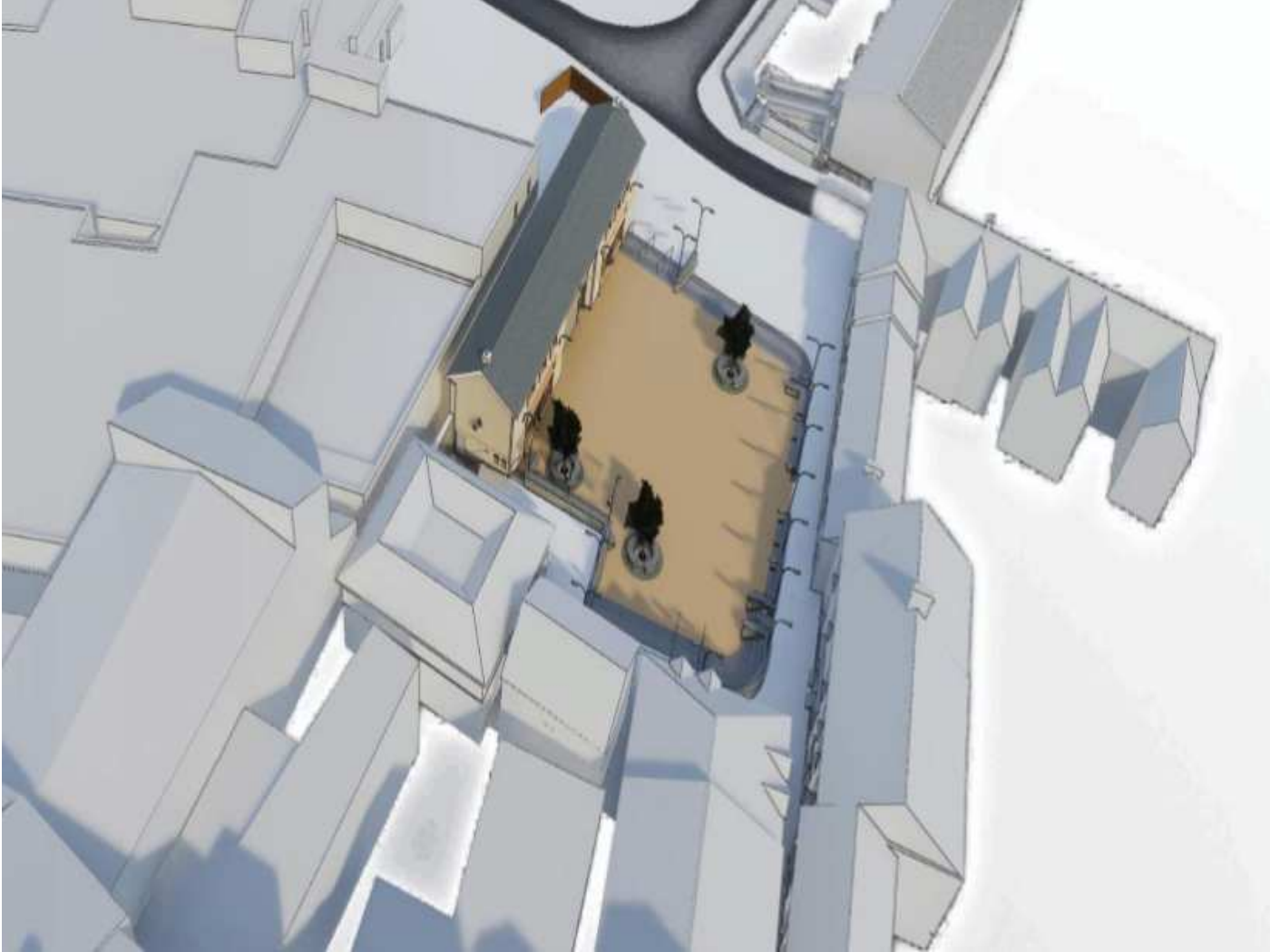


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Tudalen 93

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Tudalen 95

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W/35554



Tudalen 98

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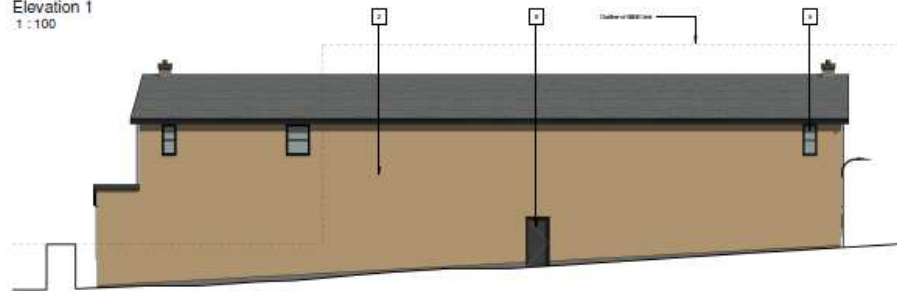


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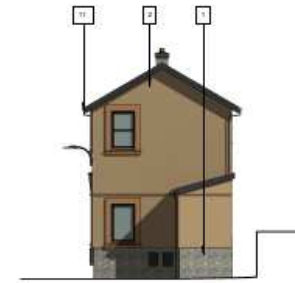
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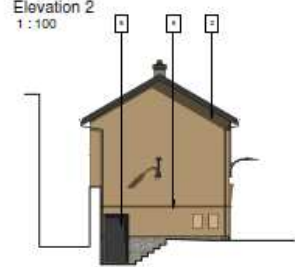
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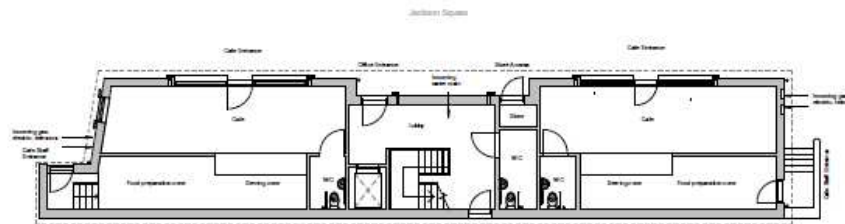
Elevation 3
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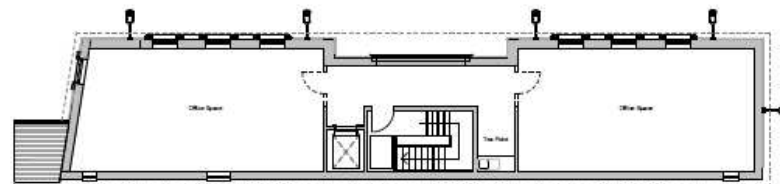
Elevation 2
1 : 100



Elevation 4
1 : 100



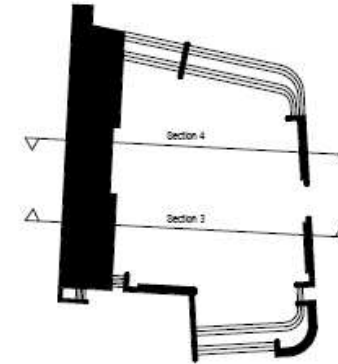
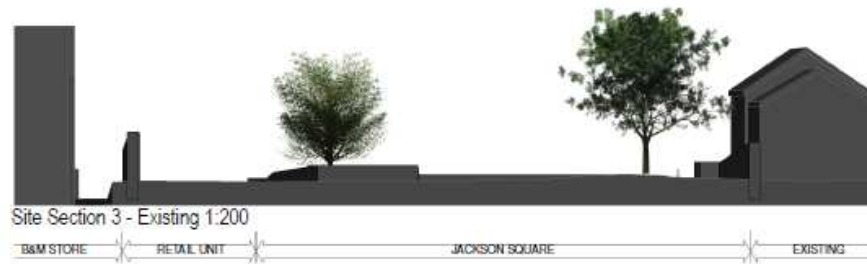
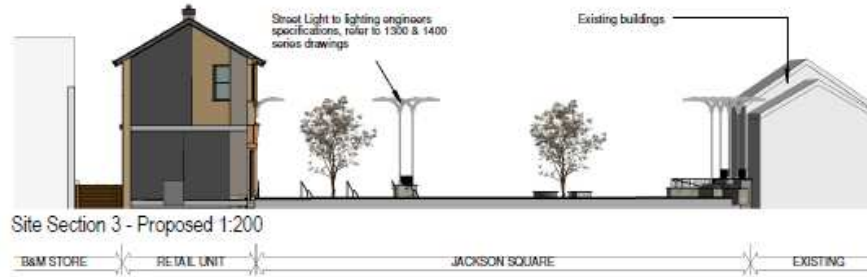
Level 0
1 : 100



Level 1
1 : 100



W/35554

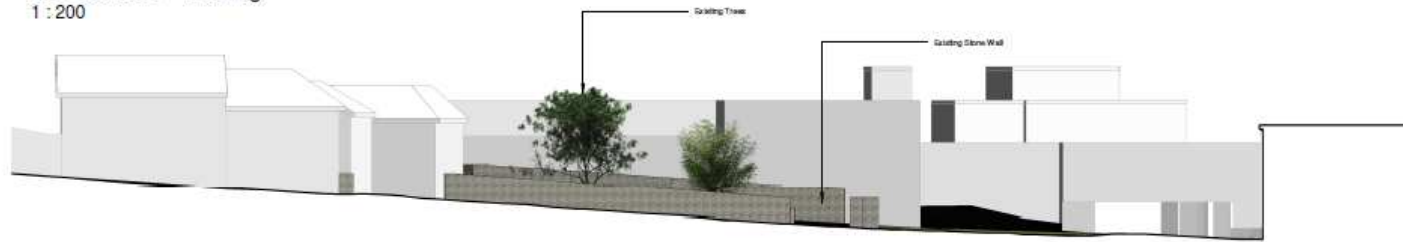


Location Key
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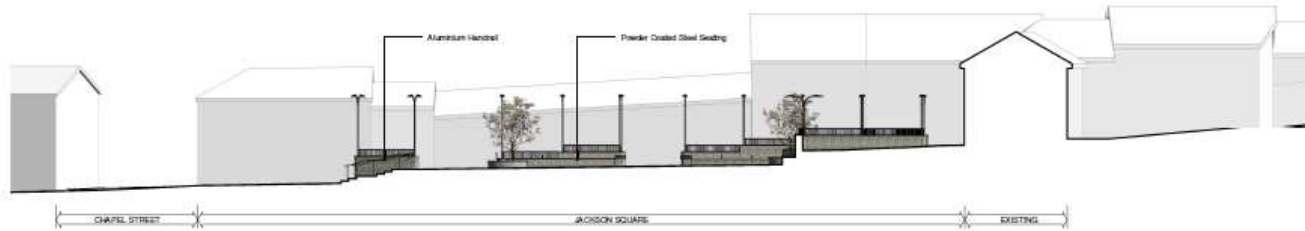
W/35554



Site Section 1 - Existing
1 : 200



Site Section 2 - Existing
1 : 200

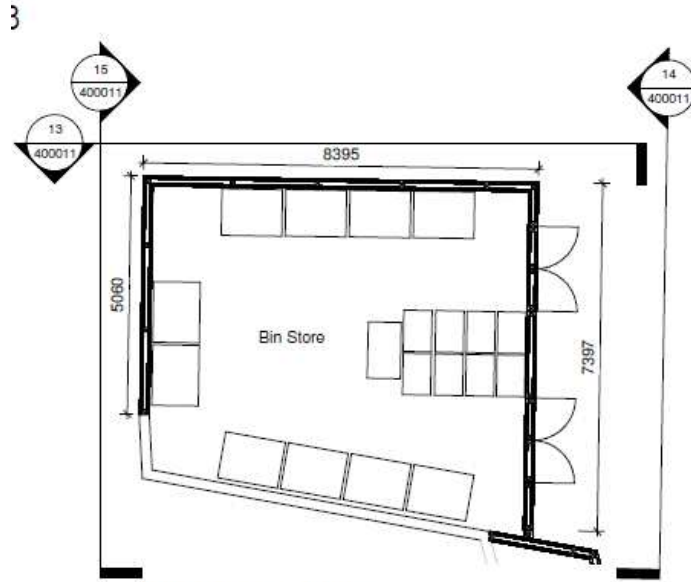


Site Section 1 - Proposed
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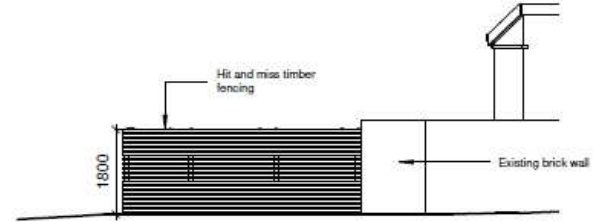


Site Section 2 - Proposed
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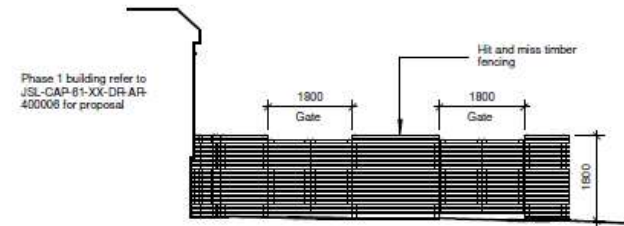
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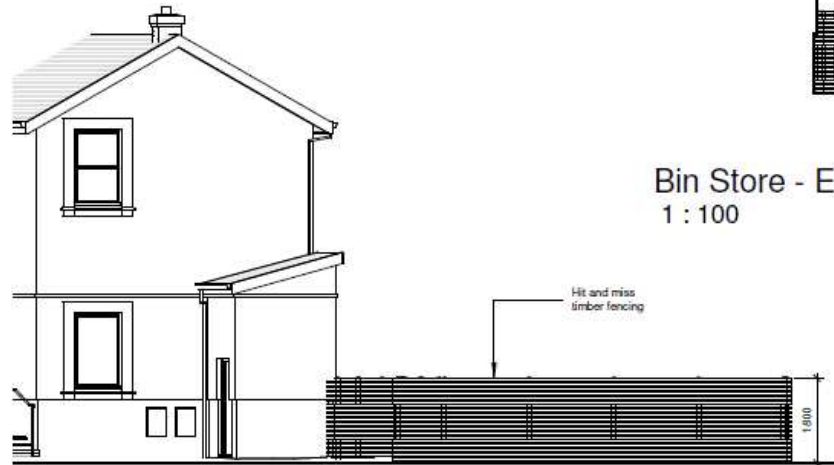
Bin Store - Plan
1 : 100



Bin Store - Elevation 15
1 : 100

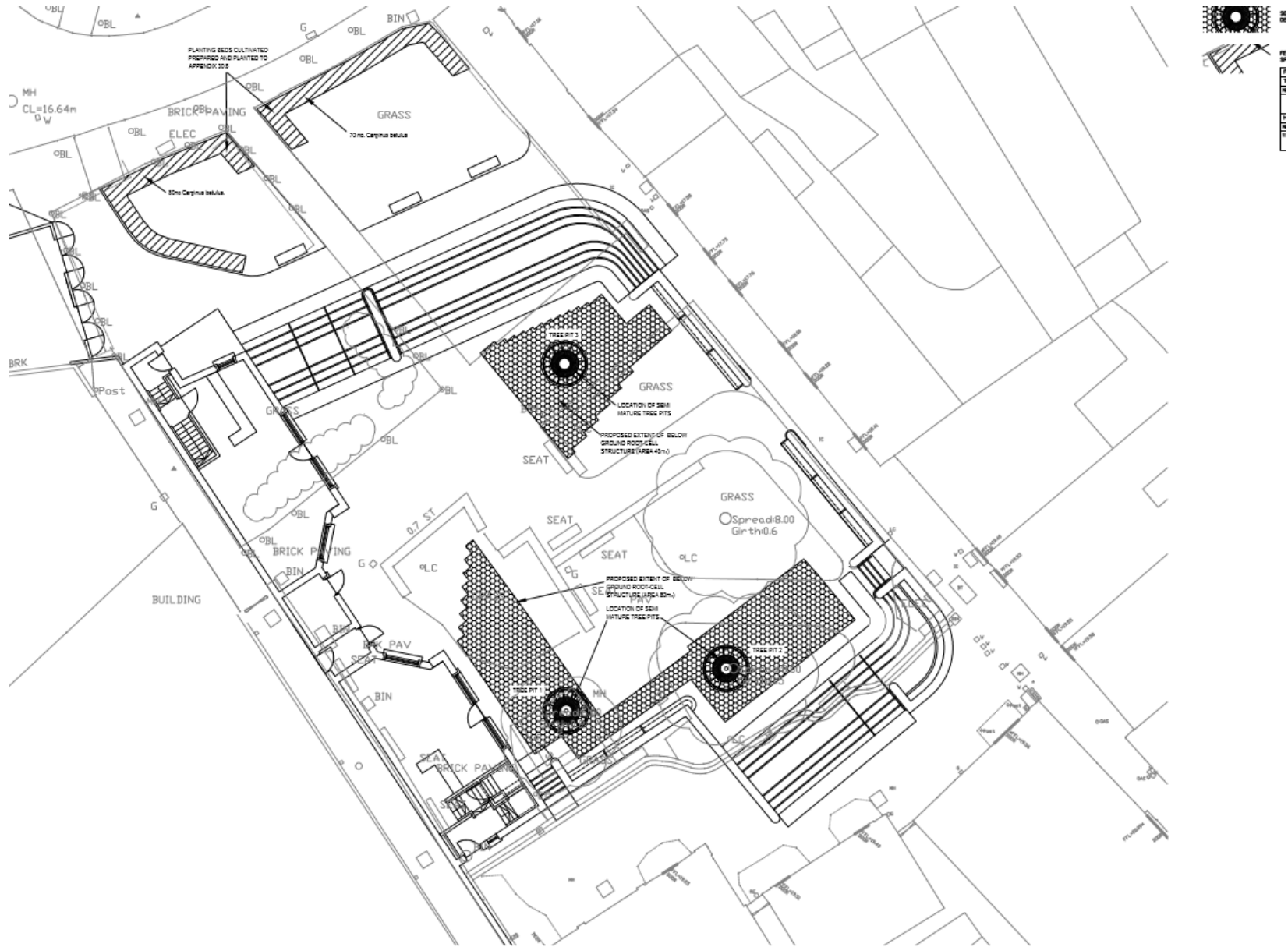


Bin Store - Elevation 14
1 : 100



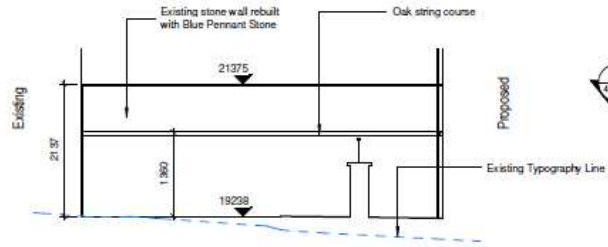
Bin Store - Elevation 13
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W/35554

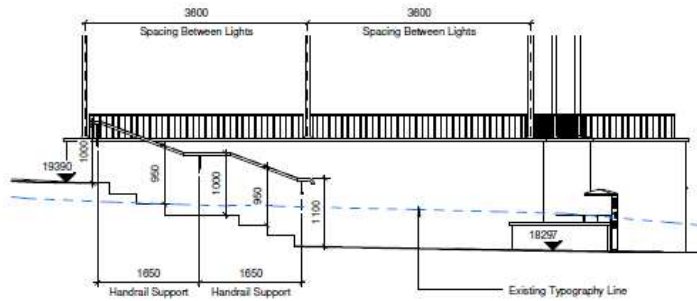


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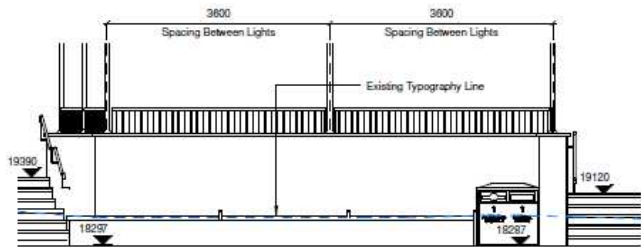
Tudalen 105



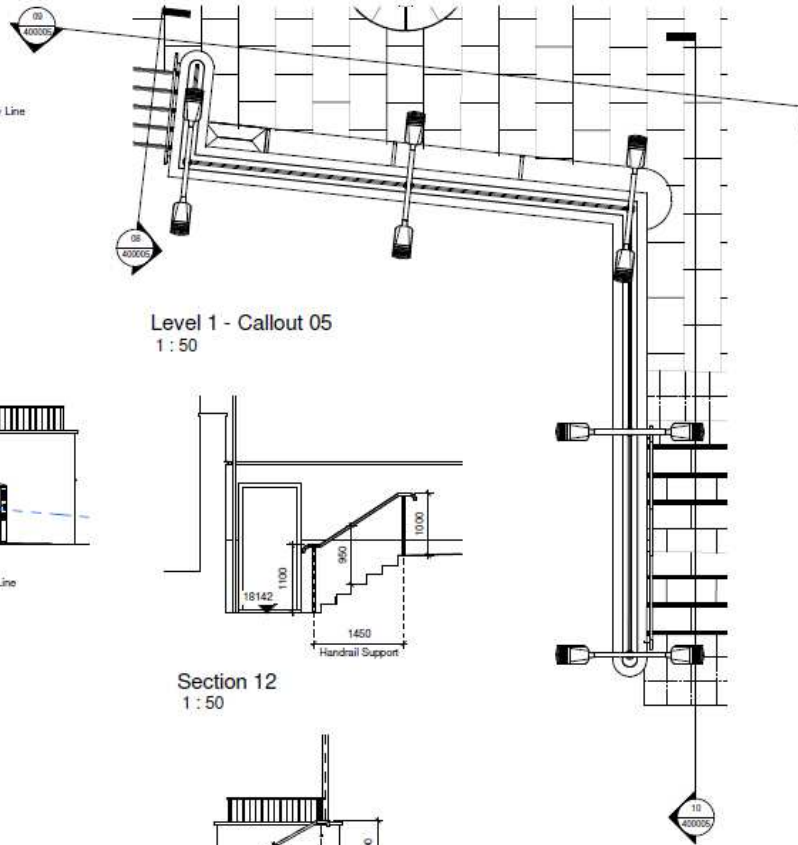
Section 11
1 : 50



Section 10
1 : 50

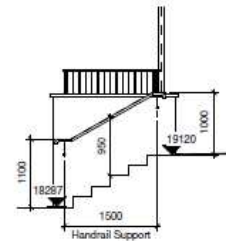


Section 09
1 : 50



Level 1 - Callout 05
1 : 50

Section 12
1 : 50



Section 08
1 : 50

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All other design team elements, where indicated, have been imported from the consultant's drawings and reference should be made to the individual consultant's drawings for exact setting out, size and type of component.

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SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
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It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

Location Key Plan (Not to Scale)



Rev.	Description	By/Checked/Approved	Date
1	Revision 1		06/02/2017
2	CS2		



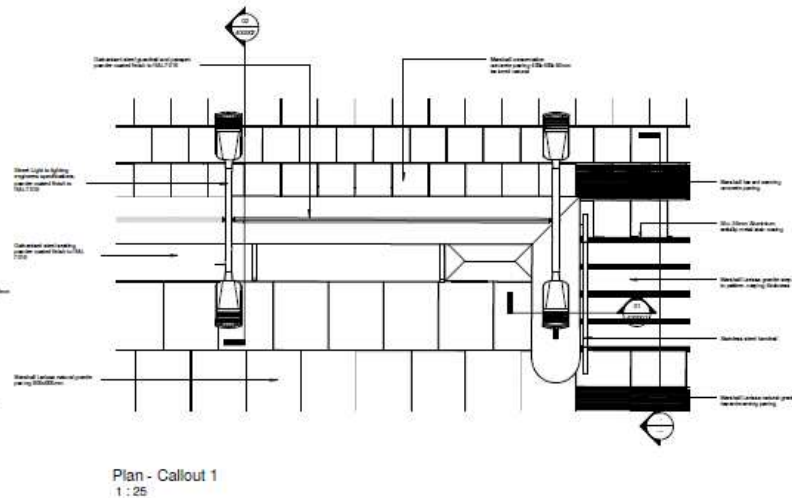
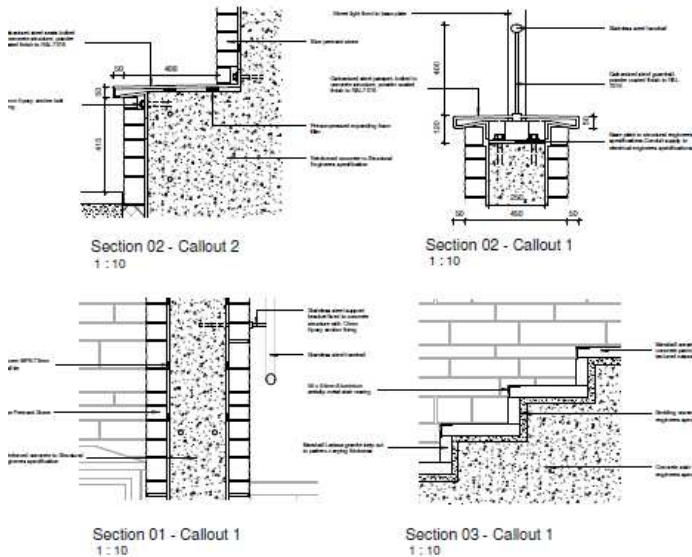
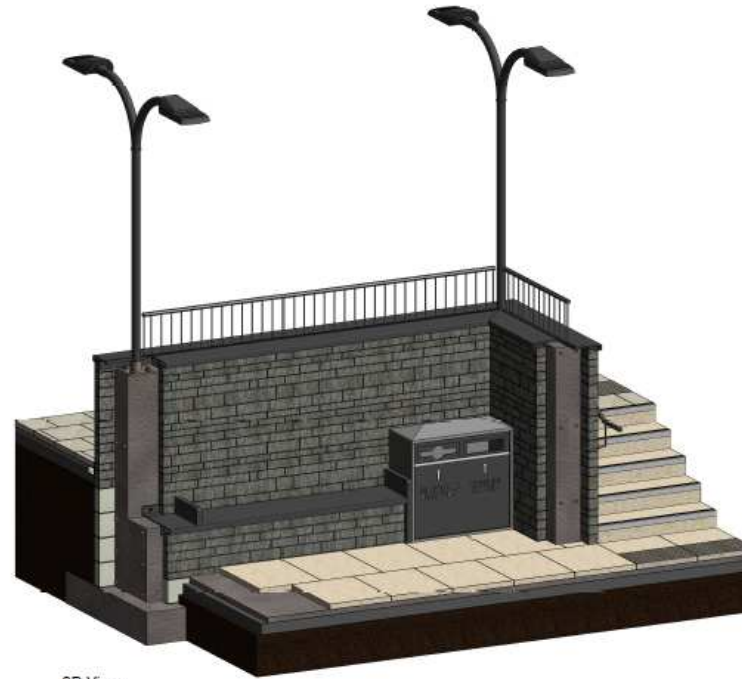
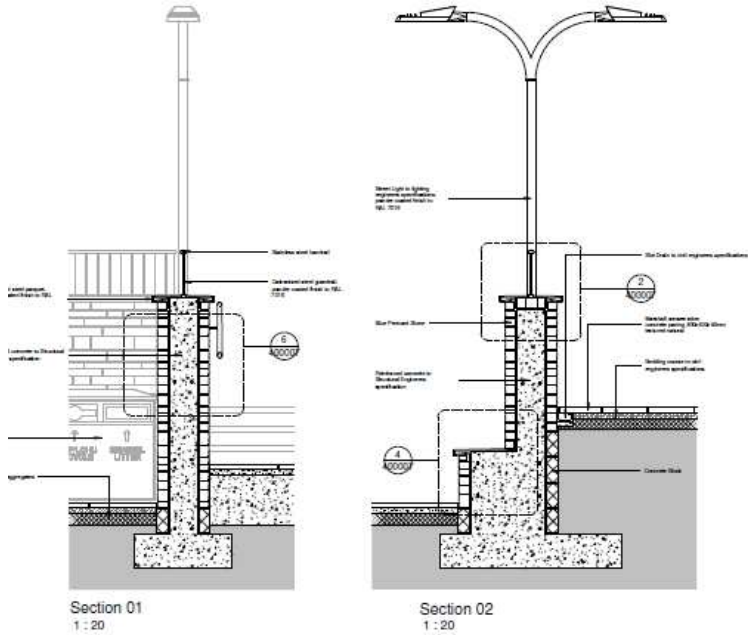
Project: Jackson Square

Project: Jackson Square - 1:50 Detail Design - Sheet 2 of 2

Scale @ A2	Drawn	Checked	Approved
1 : 50	JM	MT	JA
Project No:	CS_087280-01		
Project Name:	Jackson Square		
Project Date:	06/02/2017		
Project Status:	Final		
Project Manager:	JSL		
Project Engineer:	CAP		
Project Designer:	61		
Project Checker:	XX		
Project Approver:	DPP		
Project Date:	AR		
Project Scale:	400005		
Project Sheet:	1		

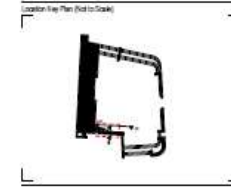
CAPITA
Architecture
To Member Of The Institution Of Professional Design Technicians

W/35554



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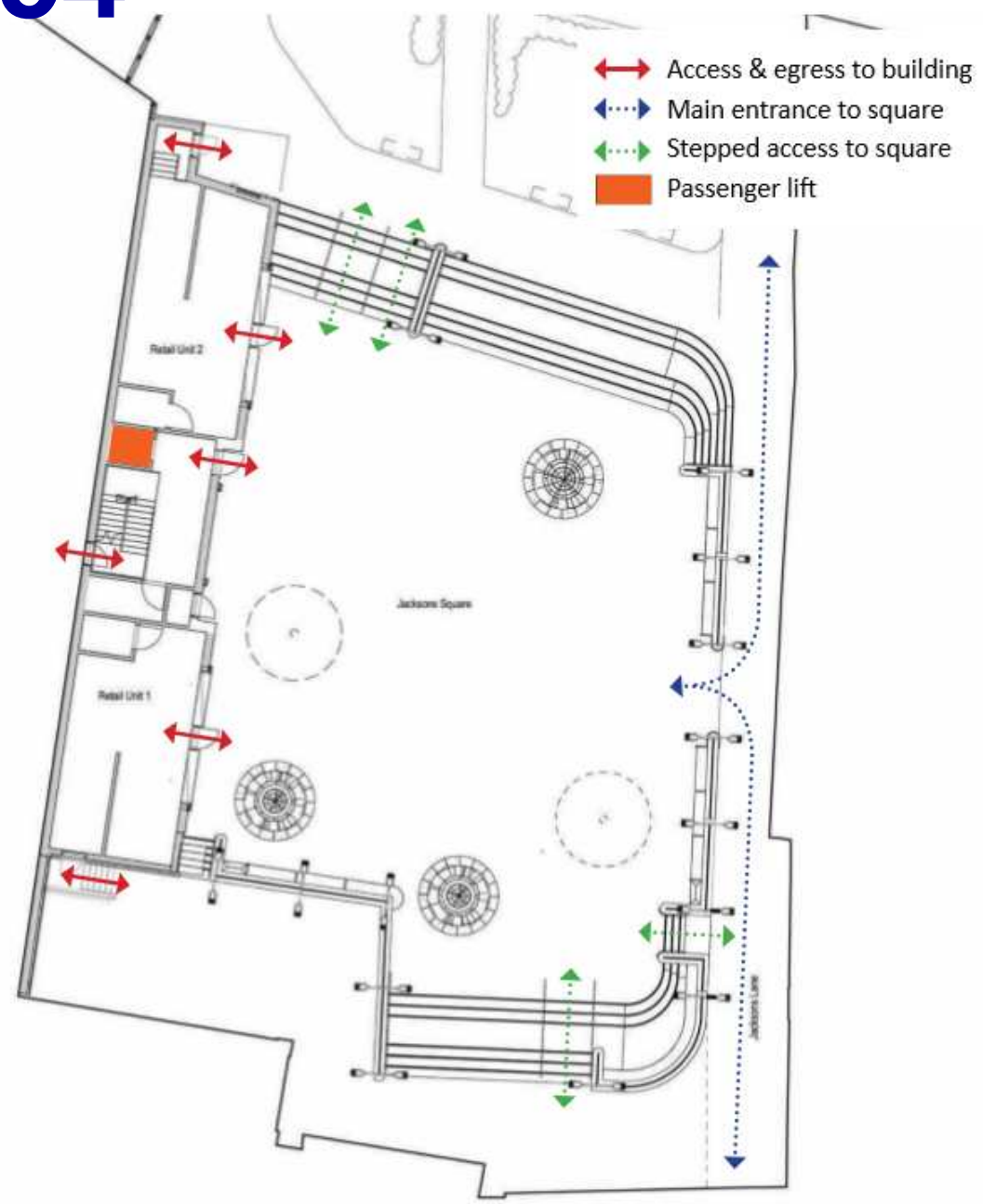
SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
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Rev	Description (By / Check / Appr'd)	Date
1	Revised 1	Date 1
2	Revised 2	Date 2
Client: Camarthenshire Council		
Project: Jackson Square		
Drawing: Jackson Square - Detail Design		
Scale: As indicated	Drawn: JM	Checked: MT
Project No: CS_087280-01	Date: 31/05/2011	Approved: JA
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